

# PRELIMINARY AND FINAL ENGINEERING PLANS

## FOXFORD STATION

### VILLAGE OF WESTERN SPRINGS, ILLINOIS

LEGEND	
EXISTING	PROPOSED
SANITARY SEWER 8" PVC	8" PVC
FORCE MAIN FM	FM
STORM SEWER 12" RCP	12" RCP
UNDERDRAIN UD	UD
MANHOLE	
CATCH BASIN	
INLET	
CLEANOUT	
WATER MAIN WM	WM
VALVE VAULT	
VALVE BOX	
FIRE HYDRANT	
FLARED END SECTION	
COMBINED SEWER	
STREET LIGHT/PARKING LOT LIGHT	
POWER POLE	
STREET SIGN	
FENCE	
GAS MAIN G	G
OVERHEAD LINE OH	OH
TELEPHONE LINE T	T
ELECTRIC LINE E	E
CABLE TV LINE CATV	CATV
HIGH WATER LEVEL HWL XXX	HWL XXX
NORMAL WATER LEVEL NWL XXX	NWL XXX
CONTOUR LINE XXX.XX	XXX.XX
TOP OF CURB ELEVATION BC XXX.XX	TC XXX.XX
TOP OF DEPRESSED CURB BC XXX.XX	TDC XXX.XX
PAVEMENT ELEVATION P XXX.XX	P XXX.XX
SPOT ELEVATION XXX.XX	XXX.XX
FINISHED FLOOR ELEVATION FF XXX.XX	FF XXX.XX
TOP OF FOUNDATION TF XXX.XX	TF XXX.XX
GRADE AT FOUNDATION GF XXX.XX	GF XXX.XX
HIGH OR LOW POINT	
OVERLAND FLOOD ROUTE	
PAVEMENT FLOW DIRECTION	
SWALE FLOW DIRECTION	
DEPRESSED CURB AND GUTTER	
REVERSE CURB AND GUTTER	

ABBREVIATIONS			
AC	ACRE	HWL	HIGH WATER ELEVATION
BC	BACK OF CURB	INL	INLET
BTM	BOTTOM	INV	INVERT
CB	CATCH BASIN	LF	LINEAL FEET/FOOT
CFS	CUBIC FEET PER SECOND	LP	LIGHT POLE
CY	CUBIC YARD	LT	LEFT
DIA	DIAMETER	L/W	LOWEST GRADE ADJACENT TO RETAINING WALL
DIWM	DUCTILE IRON WATER MAIN	MAX	MAXIMUM
EL	ELEVATION	MH	STORM MANHOLE
EP	EDGE OF PAVEMENT	MIN	MINIMUM
FF	FINISHED FLOOR	NWL	NORMAL WATER ELEVATION
FES	FLARED END SECTION	OCS	OUTLET CONTROL STRUCTURE
FT	FOOT/FEET	P	PAVEMENT ELEVATION
G	GUTTER ELEVATION	PVC	POLYVINYL CHLORIDE PIPE
GF	GRADE AT FOUNDATION	R	RADIUS
GR	GRADE RING ELEVATION	RCP	REINFORCED CONCRETE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE	RIM	RIM ELEVATION
HYD	FIRE HYDRANT	RT	RIGHT
HMA	HOT MIX ASPHALT	ROW	RIGHT OF WAY
SAN	SANITARY SEWER	TDC	TOP OF DEPRESSED CURB
SMH	SANITARY MANHOLE	TC	TOP OF CURB
STA	STATION	TF	TOP OF FOUNDATION
STM	STORM SEWER	T/W	TOP OF RETAINING WALL
SY	SQUARE YARD	TYP	TYPICAL
SWPP	STORMWATER POLLUTION PREVENTION PLAN	VB	VALVE BOX
		VC	VERTICAL CURVE
		VV	VALVE VAULT
		W	WALK ELEVATION
		WM	WATER MAIN
		VPI	VERTICAL POINT OF INTERSECTION

INDEX	
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	DEMOLITION PLAN
4	GRADING AND STORMWATER POLLUTION PREVENTION PLAN
5	STORMWATER POLLUTION PREVENTION DETAILS AND SPECIFICATIONS
6	UTILITY AND PAVING PLAN
7	CONSTRUCTION DETAILS
8	CONSTRUCTION DETAILS
9	PROJECT SPECIFICATIONS
10	STORMTRAP DETAILS
11	STORMTRAP DETAILS
12	STORMTRAP DETAILS

**SOURCE BENCHMARK:**  
 NGS MONUMENT PID #ME1716  
 LOCATED AT THE NORTHWEST CORNER OF 55th STREET,  
 AND WOLF ROAD, 80' NORTH OF THE CENTERLINE OF  
 55th STREET, 40' WEST OF THE CENTERLINE OF WOLF ROAD,  
 AND 42.5' NORTHEAST OF A TRAFFIC SIGNAL POST. MONUMENT  
 IS A BRONZE DISK SET IN THE TOP OF A CONCRETE MONUMENT  
 PROJECTING 0.3' ABOVE GROUND.  
 ELEVATION = 662.19 (NAVD 88)

**SITE BENCHMARK #1:**  
 CUT CROSS ON SOUTH FLANGE BOLT OF FIRE HYDRANT.  
 LOCATED ON SOUTHWEST CORNER OF BURLINGTON AV.  
 AND JOHNSON AV.  
 ELEVATION = 670.23

**SITE BENCHMARK #2:**  
 CUT CROSS ON NORTH FLANGE BOLT OF FIRE HYDRANT.  
 LOCATED ON THE WEST SIDE OF JOHNSON AV. AND ABOUT  
 250' +/- SOUTH OF BURLINGTON AV  
 ELEVATION = 668.31

Call 48 hours before you dig  
 (Excluding Sat, Sun, & Holidays)  
 1-800-892-0123

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AS WELL AS, SUPERVISION / DIRECTION AND MEANS / METHODS OF CONSTRUCTION



**DRAINAGE CERTIFICATION**

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

ENGINEER'S SIGNATURE \_\_\_\_\_ ENGINEER'S SEAL \_\_\_\_\_

1/7/2015 9:53:27 AM  
 K:\2222\Engineering\Projects\01-cover.plt

**Mackie Consultants, LLC**  
 9575 W. Higgins Road, Suite 500  
 Rosemont, IL 60018  
 (847)696-1400  
 www.mackieconsult.com

CLIENT:  
**FOXFORD STATION, LLC**  
 12 SALT CREEK LANE, SUITE 400  
 HINSDALE, ILLINOIS 60521  
 PH: 630-887-1705 FX: 630-887-1749

DATE	DESCRIPTION OF REVISION	BY	SCALE
01-06-15	REVISED PER VILLAGE COMMENTS	RDB	DATE 07-25-14
10-24-14	REVISED PER VILLAGE COMMENTS	RDB	DATE 07-25-14
			SCALE N.T.S.

**COVER SHEET**  
**FOXFORD STATION**  
**WESTERN SPRINGS, ILLINOIS**

SHEET  
**1 OF 12**  
 PROJECT NUMBER: 2222  
 © MACKIE CONSULTANTS LLC, 2014  
 ILLINOIS FIRM LICENSE 184-002694

# PLAT OF CONSOLIDATION FOXFORD STATION

RECORDING SPACE

P.L.N. NUMBERS:  
18-05-305-011  
18-05-305-028  
18-05-305-029

**CERTIFICATE OF OWNERSHIP**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

FOXFORD STATION, LLC. DOES HEREBY CERTIFY THAT IT IS THE HOLDER OF RECORD TITLE TO THE HEREON DESCRIBED PROPERTY AND THAT IT HAS CAUSED SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE PLAT HEREOF.

TO THE BEST OF THE OWNERS KNOWLEDGE, THE PROPERTY DESCRIBED HEREON LIES WITHIN THE FOLLOWING SCHOOL DISTRICTS:

- WESTERN SPRINGS ELEMENTARY SCHOOL DISTRICT 101
- LYONS TOWNSHIP HIGH SCHOOL DISTRICT 204

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

BY: \_\_\_\_\_  
PETER BRENNAN, MANAGER

**NOTARY PUBLIC**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

THE UNDERSIGNED, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT PETER BRENNAN, MANAGER OF FOXFORD STATION, LLC. WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS MANAGER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED AND DELIVERED THE SAID INSTRUMENT AS HIS OWN FREE AND VOLUNTARY ACT AND THAT OF FOXFORD STATION, LLC. FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
(SEAL)  
NOTARY PUBLIC

**COUNTY CLERK CERTIFICATION**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

I, \_\_\_\_\_, CLERK FOR THE COUNTY OF COOK DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT CHICAGO, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
DATE  
COUNTY CLERK (SEAL)

**DESIGN ENGINEER'S CERTIFICATE AS TO DRAINAGE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE DEVELOPER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DRAINAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
REGISTERED ENGINEER

**VILLAGE BOARD APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_ BY THE PRESIDENT AND TRUSTEES OF THE VILLAGE OF WESTERN SPRINGS.

THE ENTIRE PUBLIC ALLEY DESCRIBED AND DEPICTED HEREON IS HEREBY VACATED AND TITLE THERETO IS CONVEYED AND WARRANTED TO FOXFORD STATION, LLC SUBJECT TO AN EASEMENT FOR ACCESS OVER THE EASTERN 135.8 FEET THEREOF HEREBY RESERVED FOR AND GRANTED TO OWNERS AND OCCUPANTS OF LOTS 19, 20, 21, 22 AND 23 IN THE SUBDIVISION OF BLOCK 51 AND THEIR SUCCESSORS AND ASSIGNS, AND SUBJECT TO THE UTILITY AND ACCESS EASEMENT RESERVED AND GRANTED ON THIS PLAT.

BY: \_\_\_\_\_  
PRESIDENT

ATTEST: \_\_\_\_\_  
CLERK

**PLAN COMMISSION APPROVAL**

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WESTERN SPRINGS ACCORDANCE WITH SUBDIVISION REGULATIONS.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

BY: \_\_\_\_\_  
CHAIRMAN

**VILLAGE ENGINEER APPROVAL**

APPROVED BY \_\_\_\_\_ THE VILLAGE ENGINEER, VILLAGE OF WESTERN SPRINGS, COOK COUNTY, ILLINOIS.  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

BY: \_\_\_\_\_  
VILLAGE ENGINEER

WE, MACKIE CONSULTANTS LLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002694, HEREBY GRANT PERMISSION TO \_\_\_\_\_ TO RECORD THIS PLAT OF CONSOLIDATION.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

DALE A. GRAY  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003057  
LICENSE EXPIRES: NOVEMBER 30, 2014

OF  
BEING A CONSOLIDATION OF LOTS 1, 2, 13, 14, 15, 16, 17 AND PART OF LOT 18, ALL IN SUBDIVISION OF BLOCK 51 IN THE SUBDIVISION OF THE WEST 1/2 OF SECTION 5, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN AND ALL THAT PART OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.  
AND  
THE EAST-WEST ALLEY LYING SOUTH OF LOTS 14 TO 23, INCLUSIVE, AND LYING NORTH OF LOTS 1 AND 13, ALL IN SUBDIVISION OF BLOCK 51 IN THE SUBDIVISION OF THE WEST 1/2 OF SECTION 5, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN AND ALL THAT PART OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



SCALE: 1" = 20'



LOCATION MAP

**AREA:**  
PROPERTY CONTAINS 41,359 SQUARE FEET OR 0.949 ACRES MORE OR LESS

APPLICANT/DEVELOPER  
OWNER AND SEND TAX BILL TO:  
FOXFORD STATION, LLC  
12 SALT CREEK LANE, SUITE 400  
HINSDALE, ILLINOIS 60521  
PH: 630-887-1705  
FX: 630-887-1749

ENGINEER/SURVEYOR  
MACKIE CONSULTANTS, LLC  
9575 WEST HIGGINS ROAD, SUITE 500  
ROSEMONT, ILLINOIS 60018  
PHONE: 630-847-1400  
FAX: 630-696-1410

**SURVEYOR'S NOTES:**

1. THIS PLAT IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. BEARINGS BASED ON ILLINOIS EAST STATE PLANE COORDINATE SYSTEM.
3. ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAPS THAT COVER THE AREA, THE PROPERTY DESCRIBED HEREIN FALLS WITHIN ZONE "X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODPLAIN AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBERS 170310467J WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.
4. UPON COMPLETION OF CONSTRUCTION, 5/8" REBAR SHALL BE PLACED AT ALL CORNERS OF THE EXTERIOR BOUNDARY AND AT ALL LOT CORNERS AND CRITICAL POINTS ALONG ALL STREET RIGHTS-OF-WAY, UNLESS NOTED OTHERWISE.

**GENERAL NOTES:**

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
2. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.

FOUND IRON PIPE  
0.20'SLY & 0.06'W

FOUND CROSS  
3.96'W

FOUND IRON PIPE  
ONLINE

**UTILITY AND ACCESS EASEMENT PROVISIONS:**

EASEMENTS ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF WESTERN SPRINGS AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE, INCLUDING BUT NOT LIMITED TO, COMMONWEALTH EDISON COMPANY, SBC / AT&T TELEPHONE COMPANY, NICOR GAS COMPANY, CABLE COMPANY, AND THEIR SUCCESSORS AND ASSIGNS, OVER THE AREA LABELED "UTILITY AND ACCESS EASEMENT" FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE UNDERGROUND CONDUITS AND CABLES, SEWERS, WATER MAINS AND SURFACE WATER DRAINAGE, WITH ALL NECESSARY MANHOLES, WATER VALVES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THE SUBDIVISION AND OTHER PROPERTY WITH TELEPHONE, ELECTRIC, SEWER, GAS, CABLE TELEVISION, WATER SERVICE AND SURFACE WATER DRAINAGE UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY WORKERS AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

GRANTEES SHALL BE RESPONSIBLE TO RESTORE EASEMENT AREA TO ITS ORIGINAL CONDITION DUE TO ANY DAMAGE TO THE EASEMENT AREA CAUSED BY GRANTEE'S EXERCISE OF ITS RIGHTS HEREUNDER, AT NO COST TO THOSE WITH OWNERSHIP INTERESTS IN THE PROPERTY, PROVIDED, HOWEVER, THE SAID VILLAGE SHALL NOT BE RESPONSIBLE FOR RESTORATION OF EASEMENT AREA TO ITS ORIGINAL CONDITION IF THE OWNER OF LOT 1 FAILED TO PERFORM THE MAINTENANCE OR REPAIR WORK REQUIRED UNDER ANY OBLIGATIONS TO THE VILLAGE.

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) JSS

MACKIE CONSULTANTS, LLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002694, DO HEREBY CERTIFY THAT WE HAVE SURVEYED, CONSOLIDATED AND PLATTED FOR THE OWNER THEREOF THE FOLLOWING LEGALLY DESCRIBED PROPERTY AND THAT THE PLAT HEREIN DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY, CONSOLIDATION AND PLAT:

LOT 13 IN THE SUBDIVISION OF BLOCK 51 IN THE SUBDIVISION OF THE WEST 1/2 OF SECTION 5, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND THAT PART OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF WAPERVILLE ROAD, EXCEPT THE WEST 3/75TH CHAINS THEREOF, IN COOK COUNTY, ILLINOIS.

LOTS 1, 2, 14, 15, 16, 17 AND THE WEST 19 FEET (MEASURED PERPENDICULAR TO THE WEST LINE) OF LOT 18 EXCEPT THAT PART OF LOT 18 LYING NORTH OF A LINE DRAWN FROM A POINT ON THE WEST LINE OF LOT 18 WHICH IS 60 FEET NORTH OF THE SOUTHWEST CORNER THEREOF TO A POINT ON THE EAST LINE OF LOT 20 WHICH IS 60 FEET NORTH OF THE SOUTHWEST CORNER THEREOF, ALL IN SUBDIVISION OF BLOCK 51 IN THE SUBDIVISION OF THE WEST 1/2 OF SECTION 5, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN AND ALL THAT PART OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

AND  
THE EAST-WEST ALLEY LYING SOUTH OF LOTS 14 TO 23, INCLUSIVE, AND LYING NORTH OF LOTS 1 AND 13, ALL IN SUBDIVISION OF BLOCK 51 IN THE SUBDIVISION OF THE WEST 1/2 OF SECTION 5, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN AND ALL THAT PART OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.  
CONTAINING AN AREA OF 41,359 SQ.FT. OR 0.949 ACRES, MORE OR LESS.

WE FURTHER CERTIFY THAT ALL THE LAND IN THE PLAT HEREIN IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF WESTERN SPRINGS, COOK COUNTY, ILLINOIS.

WE FURTHER CERTIFY THAT WE WILL SET ALL SUBDIVISION MONUMENTS UPON COMPLETION OF CONSTRUCTION AND HAVE DESCRIBED THEM ON THIS PLAT AS REQUIRED BY THE PLAT ACT, (765 ILCS 205/0.01 ET SEQ.)

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
IN ROSEMONT, ILLINOIS.

DALE A. GRAY  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003057  
LICENSE EXPIRES: NOVEMBER 30, 2014



VILLAGE ZONING CLASSIFICATION  
ACCORDING TO ORDINANCE NO. 14-\_\_\_\_ THE ZONING CLASSIFICATION FOR THE PROPERTY SHOWN AND DESCRIBED HEREON IS "SECTION 10-7-7 (MXD - MIXED USE COMMERCIAL-RESIDENTIAL DISTRICT)".

**VACATION AND EASEMENT APPROVAL AND ACCEPTANCE CERTIFICATE**

THE APPROVING AUTHORITIES AND THEIR SUCCESSORS AND ASSIGNS, ON SIGNING THIS DOCUMENT, HEREBY RELEASE AND CONSENT TO THE RELEASE, VACATION AND ABRIGATION OF THE EXISTING ALLEY AS SHOWN AND HEREBY ACCEPT AS ITS REPLACEMENT THE HEREON SHOWN UTILITY AND ACCESS EASEMENT FOR THE PURPOSES SET FORTH HEREIN.

ACCEPTED: \_\_\_\_\_ DATE: \_\_\_\_\_  
AT&T CORPORATION

ACCEPTED: \_\_\_\_\_ DATE: \_\_\_\_\_  
COMMONWEALTH EDISON COMPANY

ACCEPTED: \_\_\_\_\_ DATE: \_\_\_\_\_  
NICOR GAS COMPANY

ACCEPTED: \_\_\_\_\_ DATE: \_\_\_\_\_  
CABLE COMPANY

1/7/2016 10:37:06 AM N:\2222\_Survey\Proposed\FINAL\2222\_Plat of Consolidation.dwg

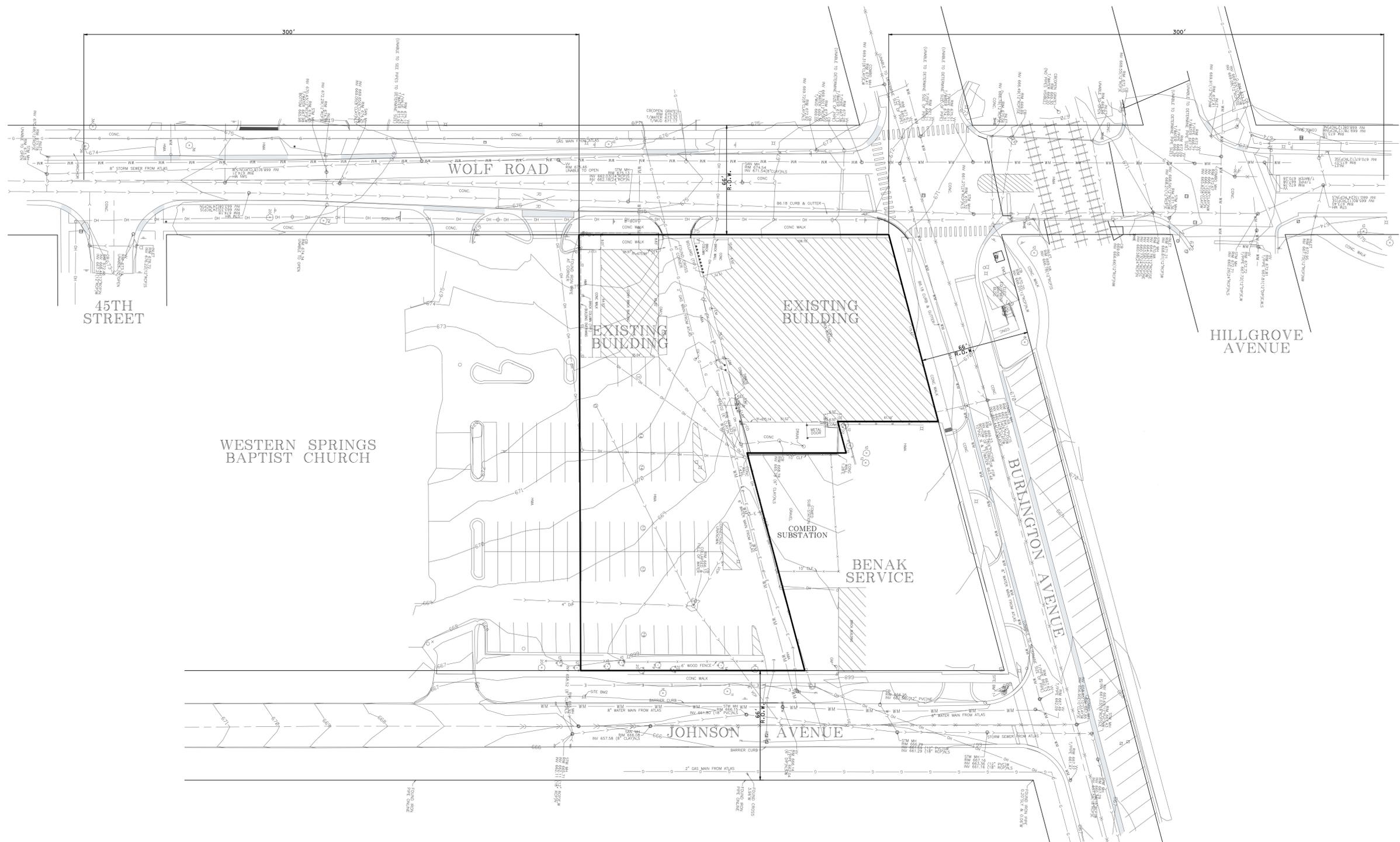
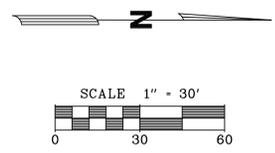
**Mackie Consultants, LLC**  
9575 W. Higgins Road, Suite 500  
Rosemont, IL 60018  
(847)996-1400  
www.mackieconsult.com

CLIENT: **FOXFORD STATION, LLC**  
12 SALT CREEK LANE, SUITE 400  
HINSDALE, ILLINOIS 60521  
PH: 630-887-1705 FX: 630-887-1749

DATE	DESCRIPTION OF REVISION	BY	SCALE
01/06/15	REVISED PER VILLAGE COMMENTS	RBB	DATE 07-25-14
10/24/14	REVISED PER VILLAGE COMMENTS	TKB	SCALE 1" = 20'

**PLAT OF CONSOLIDATION  
FOXFORD STATION  
WESTERN SPRINGS, ILLINOIS.**

SHEET  
**1 OF 1**  
PROJECT NUMBER: 2222  
© MACKIE CONSULTANTS LLC, 2014  
ILLINOIS FIRM LICENSE 184-002694



1/7/2015 10:00:35 AM N:\2222\Engineering\Projects\02-existing\_conditions.plt



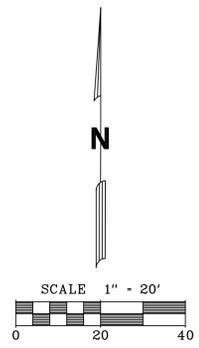
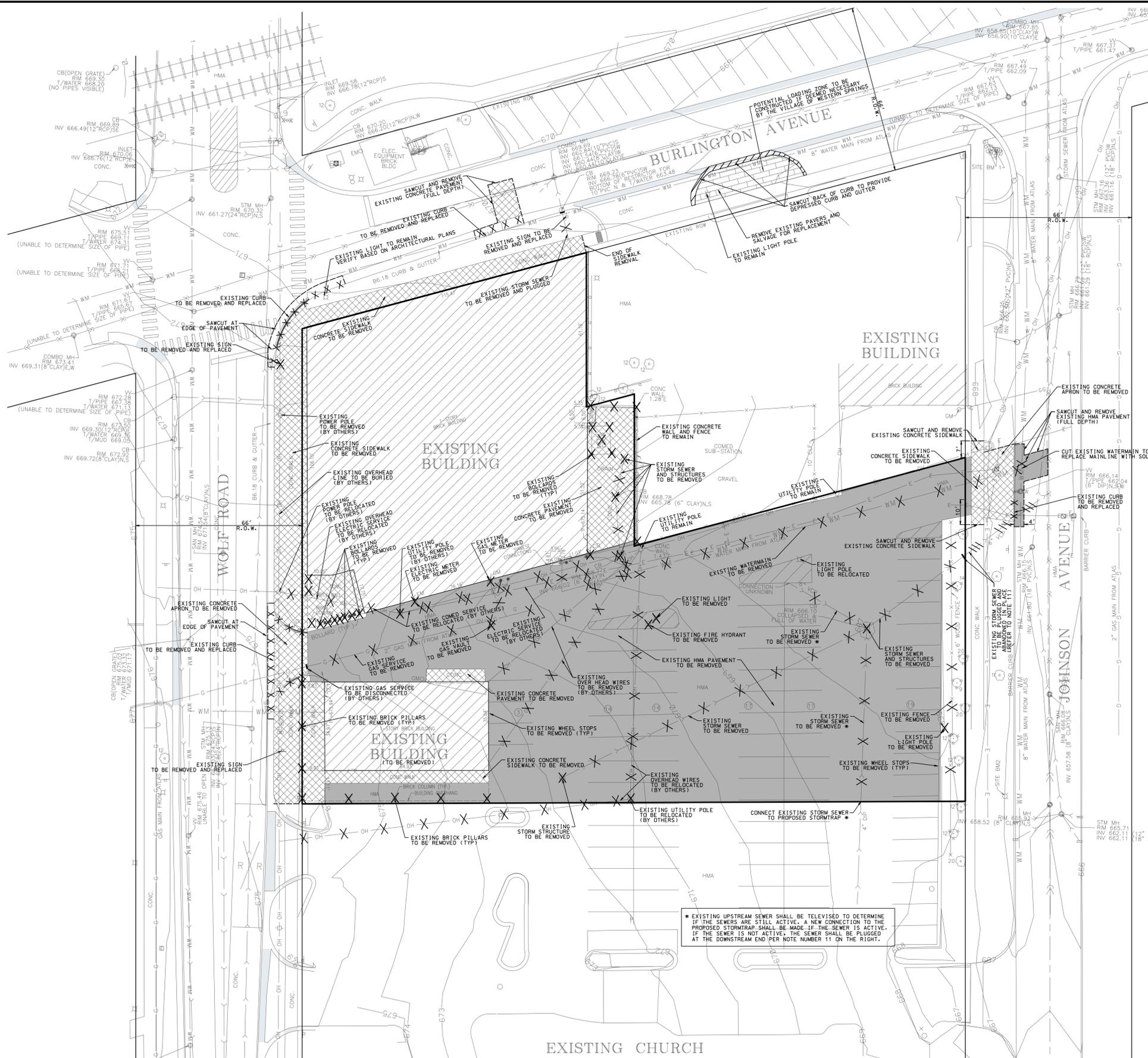
**Mackie Consultants, LLC**  
 9575 W. Higgins Road, Suite 500  
 Rosemont, IL 60018  
 (847)696-1400  
 www.mackieconsult.com

CLIENT:  
**FOXFORD STATION, LLC**  
 12 SALT CREEK LANE, SUITE 400  
 HINSDALE, ILLINOIS 60521  
 PH: 630-887-1705 FX: 630-887-1749

DESIGNED	RDB	
DRAWN	WHM	
APPROVED	TKB	
DATE	07-25-14	
SCALE	1" = 30'	
01-06-15	REVISED PER VILLAGE COMMENTS	RDB
DATE	DESCRIPTION OF REVISION	BY

**EXISTING CONDITIONS PLAN  
 FOXFORD STATION  
 WESTERN SPRINGS, ILLINOIS**

SHEET  
**2 OF 12**  
 PROJECT NUMBER: 2222  
 © MACKIE CONSULTANTS, LLC, 2014  
 ILLINOIS FIRM LICENSE 184-002694



LEGEND	
EXISTING BUILDING TO BE REMOVED	
EXISTING CONCRETE TO BE REMOVED	
EXISTING HMA PAVEMENT TO BE REMOVED	
EXISTING CURB TO BE REMOVED	
EXISTING UTILITY TO BE REMOVED	
EXISTING UTILITY TO BE ABANDONED	
EXISTING STRUCTURE, TREE, MISCELLANEOUS OBJECT TO BE REMOVED	
SAWCUT	

- DEMOLITION PLAN GENERAL NOTES:
1. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR DEMOLITION WORK AND ASSOCIATED UTILITY DISCONNECT FEES.
  3. THE MUNICIPALITY AND THE OWNER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
  4. THIS PLAN WAS PREPARED FROM TOPOGRAPHIC SURVEY OBTAINED BY MACKIE CONSULTANTS, LLC, DATED DECEMBER 13, 2012, JUNE 19, 2014 AND DECEMBER 31, 2014 AND ALL AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES SHOWN AND NOT SHOWN BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES PRIOR TO BEGINNING DEMOLITION WORK FOR THE EXACT LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL ARRANGE FOR THE DISCONNECTION, PROTECTION OR RELOCATION OF ANY EXISTING UTILITY SERVICES, INCLUDING WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CABLE.
  6. THE CONTRACTOR IS REQUIRED TO ASSURE HIMSELF OF LOCATION AND DEPTH OF EXISTING UTILITIES AND RELATED FEATURES AND SHALL REPORT AT ONCE TO THE OWNER OR ENGINEER ANY DISCREPANCIES WITH RESPECT TO INFORMATION INDICATED IN THE CONTRACT DOCUMENTS.
  7. ALL BITUMINOUS PAVEMENT AND BUILDING MATERIALS SHALL BE REMOVED TO AN OFFSITE LOCATION. GRAVEL BASE MATERIALS MAY BE STOCKPILED ON-SITE AND USED FOR TEMPORARY ROADS OR GENERAL FILL, AS APPROVED BY THE OWNER. ANY BASE MATERIALS REMAINING UPON COMPLETION OF THE PROPOSED IMPROVEMENTS SHALL BE HAULED TO AN OFFSITE LOCATION.
  8. ALL UTILITIES TO REMAIN AS NOTED SHALL BE ADJUSTED TO THE FINAL GRADES AS PROVIDED ON THE UTILITY PLANS.
  9. GAS, TELEPHONE AND ELECTRIC DISTRIBUTION SYSTEM REMOVALS AND ADJUSTMENTS SHALL BE DONE BY RESPECTIVE UTILITY AND PAID FOR SEPARATELY BY OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT. ALL ENVIRONMENTAL REMEDIATION WILL BE COMPLETED BY OWNER PRIOR TO START OF CONSTRUCTION.
  10. ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE UNLESS SPECIFICALLY SHOWN TO BE REMOVED.
  11. ALL PIPES TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET NON-SHRINK CONCRETE MORTAR PLUGS. ANY STRUCTURES TO REMAIN SHALL HAVE THE BOTTOM BROKEN TO FACILITATE DRAINAGE AND FILLED WITH SAND OR PEA GRAVEL.
  12. ALL EXISTING TREES, BRUSH, AND MISCELLANEOUS APPURTENANCES, SUCH AS FENCES, WHEEL STOPS, POLES LIGHTS AND MISCELLANEOUS DEBRIS SHALL BE HAULED TO AN OFFSITE LOCATION.
  13. THE CONTRACTOR SHALL ENSURE THAT ALL ADJOINING AREAS, INCLUDING ADJACENT STREETS AND DRIVEWAYS, SHALL BE FREE OF DEBRIS AT ALL TIMES.
  14. PAVEMENT, CURB AND GUTTER AND SIDEWALK SHALL BE SAWCUT FULL DEPTH AT THE LIMITS OF REMOVAL.
  15. ALL TREES TO REMAIN SHALL BE PROTECTED WITH SILT FENCE OR ORANGE CONSTRUCTION FENCES. PROTECTIVE FENCING SHALL BE PLACED AT THE DRIP LINE OF THE TREE TO BE SAVED. CONSTRUCTION WITHIN THE FENCE WITHOUT PERMISSION FROM THE OWNER OR MUNICIPALITY IS STRICTLY PROHIBITED.
  16. ANY DAMAGE DONE TO EXISTING STRUCTURES OR OBJECTS NOT SHOWN TO BE REMOVED OR REPLACED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  17. ALL UTILITIES AND STRUCTURES LOCATED WITHIN 5 FEET OF THE PROPOSED BUILDING SHALL BE COMPLETELY REMOVED AND THE EXCAVATION BACKFILLED WITH SELECT GRANULAR MATERIAL.

\* EXISTING UPSTREAM SEWER SHALL BE TELEVIEWED TO DETERMINE IF THE SEWERS ARE STILL ACTIVE. A NEW CONNECTION TO THE PROPOSED STORMTRAP SHALL BE MADE IF THE SEWER IS ACTIVE. IF THE SEWER IS NOT ACTIVE, THE SEWER SHALL BE PLUGGED AT THE DOWNSIDE END PER NOTE NUMBER 11 ON THE RIGHT.

1/7/2015 10:10:59 AM H:\2222\Engineering\Projects\03-demolition\p1

**Mackie Consultants, LLC**  
 9575 W. Higgins Road, Suite 500  
 Rosemont, IL 60018  
 (847)696-1400  
 www.mackieconsult.com

CLIENT: **FOXFORD STATION, LLC**  
 12 SALT CREEK LANE, SUITE 400  
 HINSDALE, ILLINOIS 60521  
 PH: 630-887-1705 FX: 630-887-1749

DATE	DESCRIPTION OF REVISION	BY
01-06-15	REVISED PER VILLAGE COMMENTS	RDB
10-24-14	REVISED PER VILLAGE COMMENTS	RDB

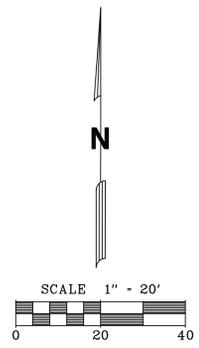
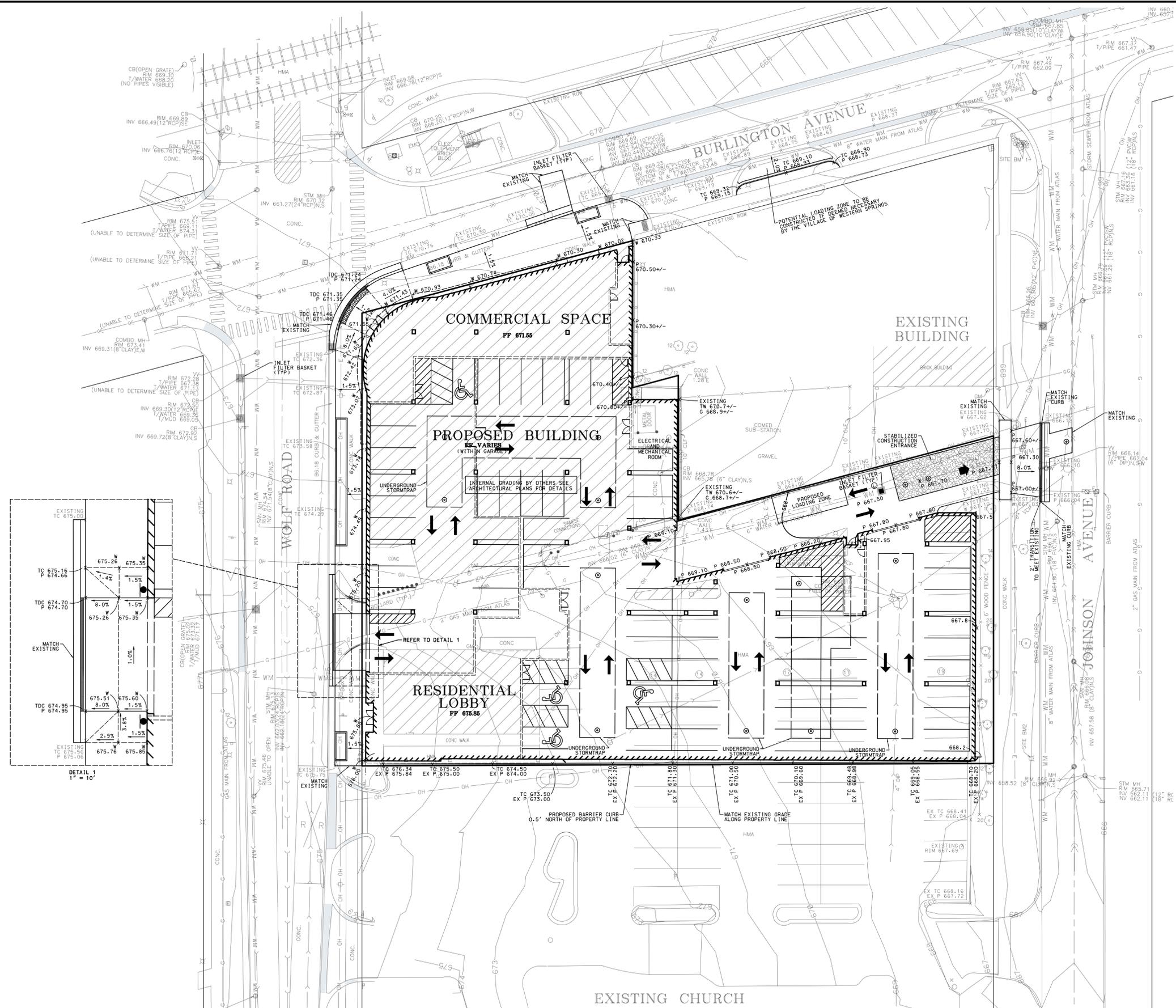
  

DESIGNED	RDB
DRAWN	WHM
APPROVED	TKB
DATE	07-25-14
SCALE	1" = 20'

**DEMOLITION PLAN**  
**FOXFORD STATION**  
**WESTERN SPRINGS, ILLINOIS**

SHEET  
**3 OF 12**

PROJECT NUMBER: 2222  
 © MACKIE CONSULTANTS LLC, 2014  
 ILLINOIS FIRM LICENSE 184-002694



**LEGEND**

INLET PROTECTION - FILTER BASKET [Symbol]

STABILIZED CONSTRUCTION ENTRANCE [Symbol]

THE FOLLOWING ITEMS HAVE NOT BEEN SPECIFICALLY SHOWN BUT ARE REQUIRED AS PART OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MUST BE INCORPORATED DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.

- WASTE MANAGEMENT
- TEMPORARY AND/OR PERMANENT STABILIZATION
- CONCRETE WASTE MANAGEMENT (CONCRETE WASH-OUT FACILITY)
- SEDIMENT TRAPS
- DUST CONTROL
- ALLOWABLE DEWATERING OPERATIONS.

DETAILS AND INFORMATION REGARDING THESE MEASURES HAVE BEEN PROVIDED ON SHEET 5.

THE OWNER AND CONTRACTORS SHALL ALSO REVIEW ALL CONSTRUCTION PRACTICES TO MINIMIZE THE POTENTIAL IMPACTS TO STORMWATER DISCHARGES FROM THE SITE. SPECIFIC CONSIDERATIONS ARE PROVIDED ON PAGE 5 FOR THE FOLLOWING ACTIVITIES:

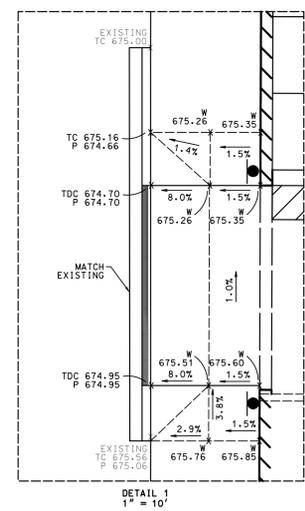
- CONCRETE CUTTING
- VEHICLE STORAGE AND MAINTENANCE
- MATERIAL STORAGE
- SANITARY STATIONS
- SPILL PREVENTION

**GENERAL INFORMATION**  
 ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH "PROCEDURES AND STANDARDS FOR URBAN SOIL AND EROSION AND SEDIMENTATION CONTROL IN ILLINOIS" AND THE ILLINOIS URBAN MANUAL.

**SWPPP AVAILABILITY**  
 THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

**KEEPING PLANS CURRENT**  
 THE OWNER SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ONSITE AS PART OF THE SWPPP.

- GRADING PLAN GENERAL NOTES**
- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON DECEMBER 13, 2012, JUNE 19, 2014, AND DECEMBER 31, 2014. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
  - ALL DISTURBED AREAS SHALL BE RESTORED WITH 6-INCHES OF TOPSOIL AND SEEDS.
  - ALL CURB ELEVATIONS ARE TO BE TOP OF CURB. ALL GUTTER ELEVATIONS ARE 0.5' BELOW TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
  - GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
  - CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.



1/7/2015 9:58:56 AM M:\2222\Engineering\Projects\grading\04-grading.plt

**Mackie Consultants, LLC**  
 9575 W. Higgins Road, Suite 500  
 Rosemont, IL 60018  
 (847)696-1400  
 www.mackieconsult.com

CLIENT: **FOXFORD STATION, LLC**  
 12 SALT CREEK LANE, SUITE 400  
 HINSDALE, ILLINOIS 60521  
 PH: 630-887-1705 FX: 630-887-1749

DATE	DESCRIPTION OF REVISION	BY
01-06-15	REVISED PER VILLAGE COMMENTS	RDB
10-24-14	REVISED PER VILLAGE COMMENTS	RDB

**GRADING AND STORMWATER POLLUTION PREVENTION PLAN**  
**FOXFORD STATION**  
**WESTERN SPRINGS, ILLINOIS**

SHEET  
**4 OF 12**  
 PROJECT NUMBER: 2222  
 © MACKIE CONSULTANTS, LLC, 2014  
 ILLINOIS FIRM LICENSE 184-002694

DESIGNED	RDB
DRAWN	WHM
APPROVED	TKB
DATE	07-25-14
SCALE	1" = 20'

**GENERAL INFORMATION**

- SITE DESCRIPTION**
- A. THIS PLAN COVERS THE CONSTRUCTION OF UNDERGROUND UTILITY AND PAVING IMPROVEMENTS FOR A PROPOSED COMMERCIAL AND RESIDENTIAL BUILDING.
- B. THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF CONSTRUCTION ACTIVITIES:
1. INSTALL PERIMETER SOIL EROSION AND SEDIMENT CONTROL MEASURES:
    - STABILIZED CONSTRUCTION ENTRANCE
    - INLET PROTECTION IN ALL OFFSITE STRUCTURES WITH OPEN GRATES
  2. DEMOLITION OF EXISTING STRUCTURES
  3. CONSTRUCT DETENTION FACILITIES AND OUTLET CONTROL STRUCTURE.
  4. BEGIN BUILDING CONSTRUCTION.
  5. INSTALL STORM SEWER, SANITARY SEWER, WATER MAIN.
  6. INSTALL INLET PROTECTION WITHIN ALL STORM STRUCTURES WITH "OPEN" GRATES.
  7. TEMPORARILY STABILIZE ALL AREAS INCLUDING AREAS THAT HAVE REACHED TEMPORARY GRADE WITHIN 7 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
  8. INSTALL ROADWAYS.
  9. PERMANENTLY STABILIZE GRASSY AREAS.
  10. REMOVE ALL TEMPORARY CONTROL MEASURE AFTER SITE IS STABILIZED AND RE-SEED AREAS DISTURBED BY THEIR REMOVAL.
- C. THE SITE HAS A TOTAL ACREAGE OF APPROXIMATELY 0.95 ACRES. CONSTRUCTION ACTIVITY WILL DISTURB APPROXIMATELY 0.95 ACRES OF THE SITE.
- D. THE RUNOFF COEFFICIENT FOR THE SITE FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES IS: COMPOSITE "C" = 0.95.
- E. PLEASE REFER TO PAGE 3 FOR A MAP INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED BEFORE AND AFTER MAJOR GRADING ACTIVITIES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AND CONTROLS TO PREVENT OFFSITE SEDIMENT TRACKING, AREAS OF SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.
- F. THE STORMWATER RUNOFF FROM THE PROPOSED DEVELOPMENT DRAINS TO AN EXISTING STORM SEWER.
- G. POTENTIAL SOURCES OF POLLUTION ASSOCIATED WITH THIS CONSTRUCTION ACTIVITY MAY INCLUDE:
- SEDIMENT FROM DISTURBED SOILS
  - FUEL TANKS
  - WASTE CONTAINERS
  - OIL OR OTHER PETROLEUM PRODUCTS
  - TAR
  - DETERGENTS
  - PAINTS
  - CONSTRUCTION DEBRIS
  - CONCRETE AND CONCRETE TRUCKS
  - SANITARY STATIONS
  - STAGING AREAS
  - CHEMICAL STORAGE AREAS
  - ADHESIVES
  - SOLVENTS
  - FERTILIZERS
  - RAW MATERIALS (I.E. BAGGED PORTLAND CEMENT)
  - LANDSCAPE WASTE
  - LITTER

**ADDITIONAL MEASURES REQUIRED:**

1. STABILIZATION: STABILIZATION PRACTICES MUST BE INITIATED WITHIN ONE (1) WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN ANY AREA. EXCEPTIONS TO THESE TIME FRAMES ARE SPECIFIED AS PROVIDED BELOW:
  - A. WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - B. ON AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD CAN BE USED.
  - C. THE FOLLOWING PRACTICES ARE ACCEPTABLE STABILIZATION MEASURES:
    - PERMANENT SEEDING: IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
    - TEMPORARY SEEDING: MAY CONSIST OF SPRING OATS (100 LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150 LBS/ACRE).
    - MULCHING
    - GEOTEXTILES
    - SODDING
    - VEGETATIVE BUFFER STRIPS

THE APPROPRIATE STABILIZATION MEASURE SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME THE CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE.

**2. WASTE MANAGEMENT**

NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. ALL WASTE MATERIALS SHOULD BE COLLECTED AND STORED IN APPROVED RECEPTACLES. NO WASTES SHOULD BE PLACED IN ANY LOCATION OTHER THAN IN THE APPROVED CONTAINERS APPROPRIATE FOR THE MATERIALS BEING DISCARDED. THERE SHOULD BE NO LIQUID WASTES DEPOSITED INTO DUMPSTERS OR OTHER CONTAINERS WHICH MAY LEAK. RECEPTACLES WITH DEFICIENCIES SHOULD BE REPLACED AS SOON AS POSSIBLE AND THE APPROPRIATE CLEAN-UP PROCEDURE SHOULD TAKE PLACE, IF NECESSARY. CONSTRUCTION WASTE MATERIAL IS NOT TO BE BURIED ONSITE. WASTE DISPOSAL SHOULD COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

ONSITE HAZARDOUS MATERIAL STORAGE SHOULD BE MINIMIZED AND STORED IN LABELED, SEPARATE RECEPTACLES FROM NON-HAZARDOUS WASTE. ALL HAZARDOUS WASTE SHOULD BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.

**3. CONCRETE WASTE MANAGEMENT**

CONCRETE WASTE OR WASHOUT SHOULD NOT BE ALLOWED IN THE STREET OR ALLOWED TO REACH A STORM WATER DRAINAGE SYSTEM OR WATERCOURSE. A SIGN SHOULD BE POSTED AT EACH LOCATION TO IDENTIFY THE WASHOUT. TO THE EXTENT PRACTICABLE, CONCRETE WASHOUT AREAS SHOULD BE LOCATED A REASONABLE DISTANCE FROM A STORM WATER DRAINAGE INLET OR WATERCOURSE. CONCRETE WASHOUT AREAS SHOULD BE LOCATED AT LEAST 10 FEET BEHIND THE CURB, IF THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD. A STABILIZED ENTRANCE THAT MEETS ILLINOIS URBAN MANUAL STANDARDS SHOULD BE INSTALLED AT EACH WASHOUT AREA.

THE CONTAINMENT FACILITIES SHOULD BE OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE MATERIALS INCLUDING ENOUGH CAPACITY FOR ANTICIPATED LEVELS OF RAINWATER. THE DRIED CONCRETE WASTE MATERIAL SHOULD BE PICKED UP AND DISPOSED OF PROPERLY WHEN 75% CAPACITY IS REACHED. HARDENED CONCRETE CAN BE PROPERLY RECYCLED AS APPROVED BY THE MUNICIPALITY AND USED AGAIN ONSITE OR HAULED OFFSITE TO AN APPROPRIATE LANDFILL.

**4. DEWATERING OPERATIONS**

DURING DEWATERING/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE TO PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOCAL PERMITS). INLET HOSES SHOULD BE PLACED IN A STABILIZED SUMP PIT OR FLOATED AT THE SURFACE OF THE WATER IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. PUMPING OPERATIONS SHOULD BE DISCHARGED TO A STABILIZED AREA THAT CONSISTS OF AN ENERGY DISSIPATING DEVICE (I.E. STONE, SEDIMENT FILTER BAG, OR BOTH). WHEN NECESSARY, STABILIZED CONVEYANCE CHANNELS SHOULD BE INSTALLED TO DIRECT WATER TO THE DESIRED LOCATION. ADDITIONAL BMPs MAY BE REQUIRED AT THE OUTLET AREA AS REQUESTED BY THE MUNICIPALITY, OR OTHER REVIEWING AGENCY.

**5. DUST CONTROL**

A WATER TRUCK MAY BE NECESSARY ONSITE TO LIMIT THE AMOUNT OF DUST LEAVING THE SITE. THE FOLLOWING LIST OF CONTROL MEASURES MAY BE IMPLEMENTED ONSITE TO LIMIT THE GENERATION OF DUST AS NEEDED:

- SPRINKLING/IRRIGATION
- MULCH
- TILLAGE
- VEGETATIVE COVER
- SPRAY-ON SOIL TREATMENTS
- STONE

**6. OFF-SITE VEHICLE TRACKING**

STABILIZED CONSTRUCTION ENTRANCE(S) SHOULD BE INSTALLED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ADJACENT ROADWAYS SHOULD BE SWEEP AS NEEDED, TO REDUCE EXCESS SEDIMENT, DIRT, OR STONE TRACKED FROM THE SITE. ACCUMULATED SEDIMENT AND STONE SHOULD BE REMOVED FROM THE STABILIZED ENTRANCE AS NEEDED. VEHICLES HAULING ERODIBLE MATERIAL TO AND FROM THE CONSTRUCTION SITE SHOULD BE COVERED WITH A TARP.

**7. CONCRETE CUTTING**

CONCRETE WASTE MANAGEMENT SHOULD BE IMPLEMENTED TO CONTAIN AND DISPOSE OF SAW-CUTTING SLURRIES. CONCRETE CUTTING SHOULD NOT TAKE PLACE DURING OR IMMEDIATELY AFTER A RAINFALL EVENT. WASTE GENERATED FROM CONCRETE CUTTING SHOULD BE CLEANED-UP AND DISPOSED INTO THE CONCRETE WASHOUT FACILITY AS DESCRIBED ABOVE.

**8. VEHICLE STORAGE AND MAINTENANCE**

WHEN NOT IN USE, VEHICLES UTILIZED IN THE DEVELOPMENT OPERATIONS OF THE SITE SHOULD BE STORED IN A DESIGNATED UPLAND AREA AWAY FROM ANY NATURAL OR CREATED WATERCOURSE, POND, DRAINAGE-WAY OR STORM DRAIN. WHENEVER POSSIBLE VEHICLE MAINTENANCE, FUELING, AND WASHING SHOULD OCCUR OFFSITE. IF ALLOWED ON-SITE, VEHICLE MAINTENANCE (INCLUDING BOTH ROUTINE MAINTENANCE AS WELL AS ON-SITE REPAIRS) SHOULD BE MADE WITHIN THE DESIGNATED AREA TO PREVENT THE MIGRATION OF MECHANICAL FLUIDS (OIL, ANTIFREEZE, ETC.) INTO WATERCOURSES, WETLANDS OR STORM DRAINS. DRIP PANS OR ABSORBENT PADS SHOULD BE USED FOR ALL VEHICLE AND EQUIPMENT MAINTENANCE ACTIVITIES THAT INVOLVE GREASE, OIL, SOLVENTS, OR OTHER VEHICLE FLUIDS. CONSTRUCTION VEHICLES SHOULD BE INSPECTED FREQUENTLY TO IDENTIFY ANY LEAKS; LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE VEHICLE SHOULD BE REMOVED FROM SITE. DISPOSE OF ALL USED OIL, ANTIFREEZE, SOLVENTS AND OTHER AUTOMOTIVE-RELATED CHEMICALS ACCORDING TO MANUFACTURER OR MSDS INSTRUCTIONS. CONTRACTORS SHOULD IMMEDIATELY REPORT SPILLS TO THE OWNER FOR PROPER REMEDIATION.

WASH WATERS, FROM EQUIPMENT OR VEHICLE WASHING, WHEEL WASH WATER AND OTHER WASH WATERS, MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.

**9. MATERIAL STORAGE**

MATERIALS AND OR CONTAMINANTS SHOULD BE STORED IN A MANNER THAT MINIMIZES THE POTENTIAL TO DISCHARGE INTO STORM DRAINS OR WATERCOURSES. AN ONSITE AREA SHOULD BE DESIGNATED FOR MATERIAL DELIVERY AND STORAGE. ALL MATERIALS KEPT ONSITE SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS WITH LEGIBLE LABELS, AND IF POSSIBLE UNDER A ROOF OR OTHER ENCLOSURE. LABELS SHOULD BE REPLACED IF DAMAGED OR DIFFICULT TO READ. BERMED-OFF STORAGE AREAS ARE AN ACCEPTABLE CONTROL MEASURE TO PREVENT CONTAMINATION OF STORM WATER. MSDS SHEETS SHOULD BE AVAILABLE FOR REFERENCING CLEAN UP PROCEDURES. ANY RELEASE OF CHEMICALS OR CONTAMINANTS SHOULD BE IMMEDIATELY CLEANED UP AND DISPOSED OF PROPERLY. CONTRACTORS SHOULD IMMEDIATELY REPORT ALL SPILLS TO THE OWNER, WHO SHOULD NOTIFY THE APPROPRIATE AGENCIES, IF NEEDED.

TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS ONSITE, HAZARDOUS PRODUCTS SHOULD BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RE-SEALABLE. THE ORIGINAL LABELS AND MSDS DATA SHOULD BE RETAINED ONSITE AT ALL TIMES. HAZARDOUS MATERIALS AND ALL OTHER MATERIAL ONSITE SHOULD BE STORED IN ACCORDANCE WITH MANUFACTURER OR MSDS SPECIFICATIONS. WHEN DISPOSING OF HAZARDOUS MATERIALS, FOLLOW MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS.

**10. SANITARY STATIONS**

TO THE EXTENT PRACTICABLE, PORT-A-POTTIES SHOULD BE LOCATED AT A MINIMUM 8 FEET BEHIND THE CURB AND GUTTER OF THE INTERNAL ROADS AND BE LOCATED IN AN AREA THAT DOES NOT DRAIN TO ANY PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR STORM WATER STRUCTURES AND SHOULD BE ANCHORED TO THE GROUND TO PREVENT TIPPING OVER. PORT-A-POTTIES LOCATED ON IMPERVIOUS SURFACES SHOULD BE PLACED ON TOP OF A SECONDARY CONTAINMENT DEVICE, OR BE SURROUNDED BY A CONTROL DEVICE (I.E. GRAVEL-BAG BERM).

**11. SPILL PREVENTION**

DISCHARGES OF A HAZARDOUS SUBSTANCE OR OIL CAUSED BY A SPILL (E.G., A SPILL OF OIL INTO A SEPARATE STORM SEWER OR WATERS OF THE STATE) ARE NOT AUTHORIZED BY THIS PERMIT. IF A SPILL OCCURS, NOTIFY THE OWNER IMMEDIATELY. THE CONSTRUCTION SITE SHOULD HAVE THE CAPACITY TO CONTROL, CONTAIN, AND REMOVE SPILLS IF THEY OCCUR. SPILLS SHOULD BE CLEANED IMMEDIATELY AFTER DISCOVERY IN ACCORDANCE WITH MSDS AND NOT BURIED ON SITE OR WASHED INTO STORM DRAINS OR WATERS OF THE STATE.

SPILLS IN EXCESS OF FEDERAL REPORTABLE QUANTITIES (AS ESTABLISHED UNDER 40 CFR PARTS 110 +117, OR 302), SHOULD BE REPORTED TO THE NATIONAL RESPONSE CENTER BY CALLING (800) 424-9802. MSDS OF TOXIC OR HAZARDOUS MATERIALS SHOULD BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE. WHEN CLEANING UP A SPILL, THE AREA SHOULD BE KEPT WELL VENTILATED AND APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED TO MINIMIZE INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

IN ADDITION TO PROPER WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, CONCRETE CUTTING, VEHICLE STORAGE AND MAINTENANCE, MATERIAL STORAGE, AND SANITARY STATION PROTECTION, THE FOLLOWING MINIMUM PRACTICES SHOULD BE FOLLOWED TO REDUCE THE RISK OF SPILLS:

- ON-SITE VEHICLES SHOULD BE MONITORED FOR LEAKS AND SHOULD RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
- PETROLEUM PRODUCTS SHOULD BE STORED IN TIGHTLY SEALED AND CLEARLY LABELED CONTAINERS.
- ALL PAINT CONTAINERS SHOULD BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT SHOULD BE DISPOSED OF ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS, AND SHOULD NOT BE DISCHARGED TO THE STORM SEWER.
- CONTRACTORS SHOULD FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL OF MATERIALS.

**MAINTENANCE**

THE FOLLOWING IS A DESCRIPTION OF PROCEDURES THAT SHOULD BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATION CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN AND STANDARD SPECIFICATIONS.

STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCES SHOULD BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. MAINTENANCE INCLUDES TOP DRESSING WITH ADDITIONAL STONE AND REMOVING TOP LAYERS OF STONES AND SEDIMENT. THE SEDIMENT RUN-OFF ONTO THE PUBLIC RIGHT OF WAY SHOULD BE REMOVED IMMEDIATELY.

CONCRETE WASHOUT AREA: EXISTING FACILITIES SHOULD BE CLEANED OUT, OR NEW FACILITIES SHOULD BE CONSTRUCTED AND OPERATIONAL ONCE THE EXISTING WASHOUT IS 75% FULL. WASHOUTS SHOULD BE INSPECTED FREQUENTLY TO ENSURE THAT PLASTIC LININGS ARE INTACT AND SIDEWALLS HAVE NOT BEEN DAMAGED BY CONSTRUCTION ACTIVITIES. WHEN THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD, THE PAVED ROAD SHOULD BE INSPECTED FOR ACCUMULATED CONCRETE WASTE. ANY ACCUMULATED CONCRETE WASTE ON THE ROAD, CURB, OR GUTTER SHOULD BE REMOVED AND PROPERLY DISPOSED.

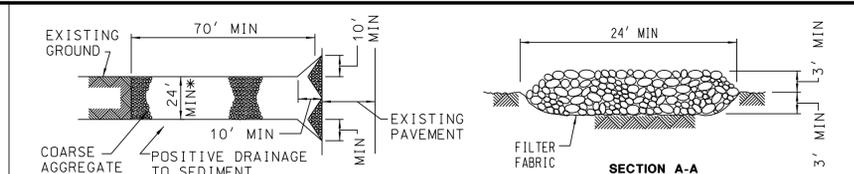
CATCH BASIN AND INLET FILTERS: INLET FILTERS SHOULD BE INSPECTED FOR PROPER FILTERING. IF FILTER BAGS ARE USED, REMOVE SEDIMENT FROM THE FILTER BAGS WHEN 50% PERCENT OF THE STORAGE VOLUME HAS BEEN FILLED, UNLESS OTHERWISE INSTRUCTED BY THE MANUFACTURER. REMOVE TRASH AND DEBRIS DURING INSPECTIONS. ACCUMULATED MATERIAL IN THE FILTERS SHOULD BE DISPOSED PROPERLY. DO NOT PUNCTURE HOLES IN FILTERS IF PONDING OCCURS.

**NON-STORM WATER DISCHARGES**

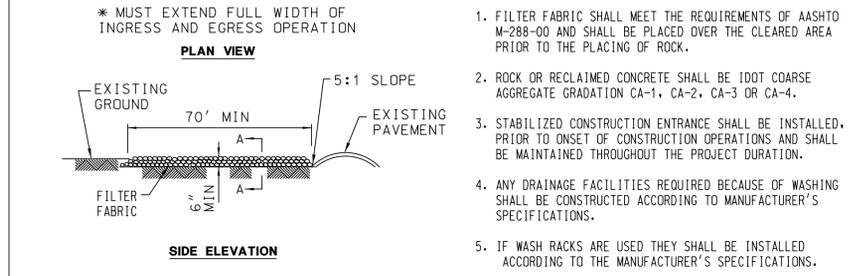
NON-STORM WATER FLOWS THAT MAY BE COMBINED WITH STORM WATER DISCHARGES ARE INCLUDED WITHIN THIS PLAN. THESE DISCHARGES INCLUDE: DISCHARGES FROM FIRE FIGHTING ACTIVITIES; FIRE HYDRANT FLUSHINGS; WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED; WATERS USED TO CONTROL DUST; POTABLE WATER SOURCES INCLUDING UNCONTAMINATED WATERLINE FLUSHINGS; LANDSCAPE IRRIGATION DRAINAGES; ROUTINE EXTERNAL BUILDING WASHDOWN WHICH DOES NOT USE DETERGENTS; PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS ALL SPILLED MATERIAL HAS BEEN REMOVED) AND WHERE DETERGENTS ARE NOT USED; UNCONTAMINATED AIR CONDITIONING CONDENSATE; SPRINGS; UNCONTAMINATED GROUND WATER; AND FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS OR SOLVENTS.

THE FOLLOWING NON-STORM WATER DISCHARGES ARE PROHIBITED: CONCRETE AND WASTEWATER FROM WASHOUT OF CONCRETE (UNLESS MANAGED BY AN APPROPRIATE CONTROL), DRYWELL COMPOUND, WASTEWATER FROM WASHOUT AND CLEANUP OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS, FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE, SOAPS, SOLVENTS, OR DETERGENTS, TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE, OR ANY OTHER POLLUTANT THAT COULD CAUSE OR TEND TO CAUSE WATER POLLUTION.

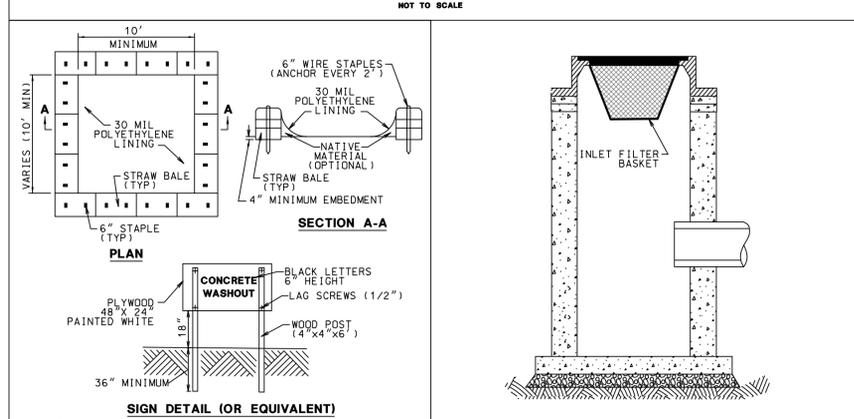
DISCHARGES FROM DEWATERING ACTIVITIES, INCLUDING DISCHARGES FROM DEWATERING TRENCHES AND EXCAVATIONS ARE ALLOWABLE IF MANAGED BY APPROPRIATE CONTROLS.



**STABILIZED CONSTRUCTION ENTRANCE DETAIL**

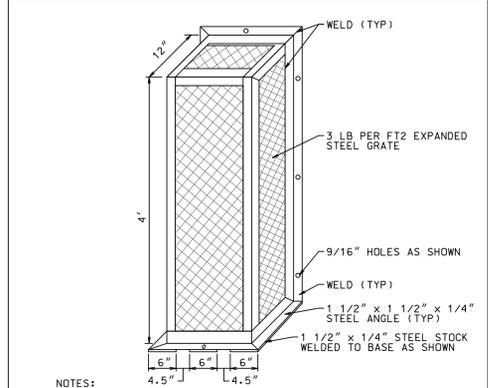


**CONCRETE WASHOUT FACILITY**



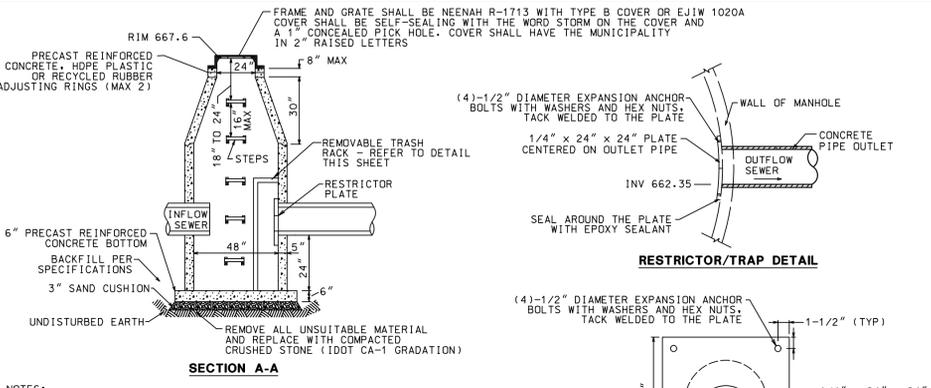
**INLET PROTECTION - FILTER BASKET DETAIL**

- NOTES:**
1. ACTUAL LAYOUT AND LOCATION TO BE DETERMINED IN FIELD.
  2. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE: REMOVING AND DISPOSING OF HARDENED CONCRETE AND/OR SLURRY AND RETURNING FACILITY TO A FUNCTIONAL CONDITION.
  3. FACILITY SHALL BE CLEANED OR RE-CONSTRUCTED IN A NEW AREA ONCE WASHOUT BECOMES TWO-THIRDS FULL.
  4. EACH STRAW BALE IS TO BE STAKED IN PLACE USING (2) 2"x2"x4" WOODEN STAKE.



- NOTES:**
1. STEEL TO CONFORM TO ASTM A-36.
  2. ALL SURFACES OF TRASH RACK(S) MUST BE HOT DIPPED GALVANIZED AFTER FABRICATION.
  3. TRASH RACK(S) IS TO BE FASTENED TO WALL WITH 1/2" MASONRY ANCHORS. TRASH RACK(S) TO BE REMOVABLE.
  4. TRASH RACK(S) TO BE CENTERED OVER OPENING.
  5. FABRICATOR MAY MODIFY DIMENSIONS AND COMPONENTS OF TRASH RACK FRAME TO IMPROVE CONSTRUCTABILITY AND INSTALLATION OF TRASH RACK. DRAWINGS SHOWING MODIFICATIONS SHOULD BE APPROVED BY THE DESIGN ENGINEER PRIOR TO FABRICATION.

**TRASH RACK DETAIL**



**MWRD OUTLET CONTROL STRUCTURE DETAIL**

- NOTES:**
1. PRECAST MANHOLES AND STRUCTURES SHALL CONFORM TO ASTM C478 AND THE DIMENSIONS SHOWN ON THE PLANS. PRECAST COMPONENTS SHALL BE SUBSTANTIALLY FREE FROM FRACTURES, LARGE OR DEEP CRACKS AND SURFACE ROLLERS CONFIRMING THE QUALITY CRITERIA ESTABLISHED IN ASTM C478.
  2. PRECAST SECTIONS TO BE JOINED WITH TONGUE AND GROOVE JOINTS SEALED WITH A CONTINUOUS LAYER OF PREFORMED FLEXIBLE GASKETS. RUBBER GASKETS BUTYL ROPE OR OTHER EQUIVALENT BITUMINOUS MATERIAL PER THE STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
  3. STEPS SHALL BE NEENAH R-1980-J OR APPROVED EQUAL.
  4. FRAME TO BE SET TO FINISHED GRADE SHOWN ON PLANS OR GRADE ESTABLISHED BY ENGINEER. MANHOLE DIMENSIONS SHALL BE DETERMINED BASED ON ELEVATIONS PROVIDED ON THE PLANS.
  5. ALL LIFT HOLES SHALL BE FILLED WITH A PRECAST CONCRETE PLUG SEALED AND COVERED WITH MASTIC OR THOROUGHLY WETTED, FILLED WITH MORTAR, MOOTED AND POINTED INSIDE AND OUT.
  6. AGGREGATE BACKFILL (DOT CA-6, CA-7, CA-10 OR F2-11) SHALL BE PROVIDED AROUND STRUCTURE TO SUBGRADE ELEVATION WHEN STRUCTURE FALLS WITHIN 24-INCHES OF ALL PAVEMENTS, CURB AND GUTTER, DRIVEWAYS AND SIDEWALKS.

**Mackie Consultants, LLC**  
 9575 W. Higgins Road, Suite 500  
 Rosemont, IL 60018  
 (847)696-1400  
 www.mackieconsult.com

**CLIENT: FOXFORD STATION, LLC**  
 12 SALT CREEK LANE, SUITE 400  
 HINSDALE, ILLINOIS 60521  
 PH: 630-887-1705 FX: 630-887-1749

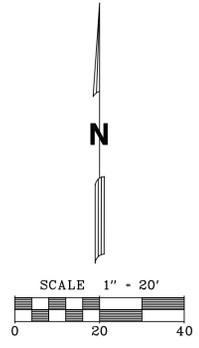
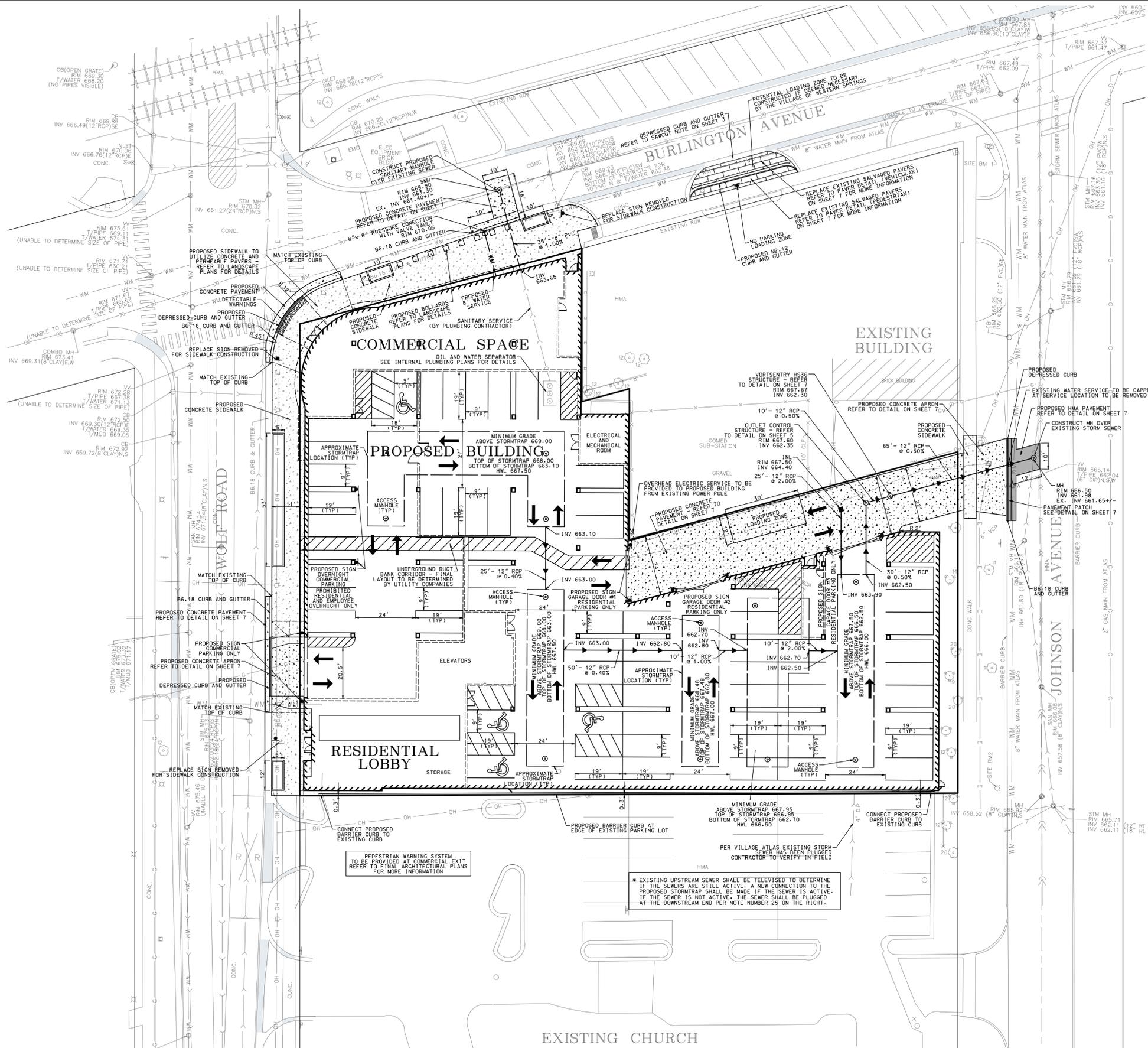
DESIGNED	RDB
DRAWN	WHM
APPROVED	TKB
01-06-15	REVISED PER VILLAGE COMMENTS RDB DATE 07-25-14
10-24-14	REVISED TO INCLUDE MWRD RESTRICTOR DETAIL TKB BY SCALE N.T.S.
DATE	DESCRIPTION OF REVISION

**STORMWATER POLLUTION PREVENTION DETAILS AND SPECIFICATION FOXFORD STATION WESTERN SPRINGS, ILLINOIS**

SHEET **5** OF **12**

PROJECT NUMBER: 2222  
 © MACKIE CONSULTANTS LLC, 2014  
 ILLINOIS FIRM LICENSE 184-002694

1/7/2015 10:00:55 AM R:\2222\Engineering\Projects\05-wmp-detailed\spec.dwg



LEGEND	
HMA PAVEMENT	[Pattern]
CONCRETE PAVEMENT AND DRIVEWAY APRON	[Pattern]
CONCRETE SIDEWALK	[Pattern]

- GENERAL NOTES
- ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
  - ALL RADII ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
  - ALL BUILDING DIMENSIONS ARE BASED ON ARCHITECTURAL PLANS DATED 12-09-14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND CONTACT THE ARCHITECT FOR ANY DISCREPANCIES.
  - ALL ONSITE PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS OTHERWISE NOTED.
  - ALL PROPOSED CURB AND GUTTER SHALL BE B6.24 AND SHALL BE DEPRESSED CURB WHERE SIDEWALK MEETS A STREET, UNLESS OTHERWISE INDICATED. CURB DEPRESSIONS SHALL MEET ADA REQUIREMENTS AS NOTED IN THE CONSTRUCTION DETAILS.
  - ALL JOINTS MADE WITH EXISTING PAVEMENT, CURB, WALK OR CURB AND GUTTER ARE TO BE SAWCUT FULL DEPTH WITHIN 24 HOURS OF PLACEMENT.
  - ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
  - ALL SANITARY SEWER, LESS THAN 15 FEET DEEP, SHALL BE PVC, SDR 26, UNLESS OTHERWISE INDICATED. PVC SANITARY SEWER SHALL HAVE ELASTOMERIC JOINTS IN CONFORMANCE WITH ASTM D-3212.
  - ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52, ANWA C-600 WITH "PUSH-ON" TYPE JOINTS, UNLESS OTHERWISE INDICATED. ALL WATER MAIN SHALL HAVE A MINIMUM OF 5'-6" OF COVER FROM TOP OF WATERMAIN TO FINISHED GRADE.
  - ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE, MINIMUM CLASS III, WITH ASTM C76 PIPE AND C443 JOINTS, UNLESS OTHERWISE INDICATED.
  - GRANULAR TRENCH BACKFILL CA 6 SHALL BE PROVIDED FOR ALL SANITARY, WATER AND STORM UTILITIES WHEN THE TRENCH LIMITS FALL WITHIN TWO FEET OF STREETS, SIDEWALKS, DRIVEWAYS AND AS NOTED ON THE SANITARY TRENCH DETAIL ON PAGE 7. ALL TRENCHES WITHIN COOK COUNTY RIGHT-OF-WAY MUST BE TRENCH BACKFILLED WITH FA-6 SAND IN ACCORDANCE WITH ARTICLE 550.07 LATEST EDITION.
  - ALL WATERMAIN AND WATER SERVICE LINES SHALL BE PROTECTED FROM OTHER UTILITIES IN ACCORDANCE WITH SECTION 41-2.01 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS.
  - ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION OBTAINED FROM THE MUNICIPALITY, UTILITY COMPANIES OR FIELD MEASUREMENTS. THIS INFORMATION, WHILE BELIEVED TO BE COMPLETE AND ACCURATE, CANNOT BE GUARANTEED.
  - CONTRACTOR SHALL VERIFY ALL BUILDING SERVICE LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
  - CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
  - CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
  - A TEN (10) FOOT MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE WATERMAIN SERVICE AND THE SANITARY OR STORM SEWER SERVICES.
  - IN CASE OF CONFLICTS, THE MORE STRINGENT STANDARDS AND NOTES SHALL TAKE PRECEDENCE.
  - EXISTING PAVEMENT REMOVED FOR UTILITY CONSTRUCTION SHALL BE DONE BY THE RESPECTIVE UTILITY COMPANY AND PAID FOR SEPARATELY BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT.
  - EXISTING OR PROPOSED MANHOLES, CATCH BASINS, INLETS AND VALVE VAULTS REQUIRING OVER 12-INCHES OF ADJUSTMENT RINGS SHALL USE AN ADDITIONAL BARREL SECTION TO MAINTAIN A MAXIMUM OF 12-INCH TOTAL ADJUSTMENT RING DEPTH.
  - ALL PIPES TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET NON-SHRINK CONCRETE MORTAR PLUGS. ANY STRUCTURES TO REMAIN SHALL HAVE THE BOTTOM BROKEN TO FACILITATE DRAINAGE AND FILLED WITH SAND OR PEA GRAVEL.
  - ROOF DOWNSPOUTS SHALL BE CONNECTED TO THE STORMTRAP SYSTEM AND FLOOR DRAINS SHALL BE CONNECTED TO THE COMBINED SEWER.

1/7/2015 10:03:10 AM K:\2222\Engineering\Projects\Utility\foxfordstation.gpi

**Mackie Consultants, LLC**  
 9575 W. Higgins Road, Suite 500  
 Rosemont, IL 60018  
 (847)696-1400  
 www.mackieconsult.com

CLIENT: **FOXFORD STATION, LLC**  
 12 SALT CREEK STATION, SUITE 400  
 HINSDALE, ILLINOIS 60521  
 PH: 630-887-1705 FX: 630-887-1749

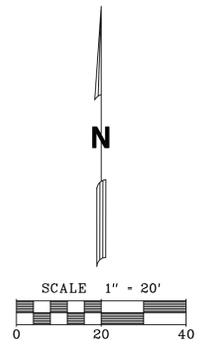
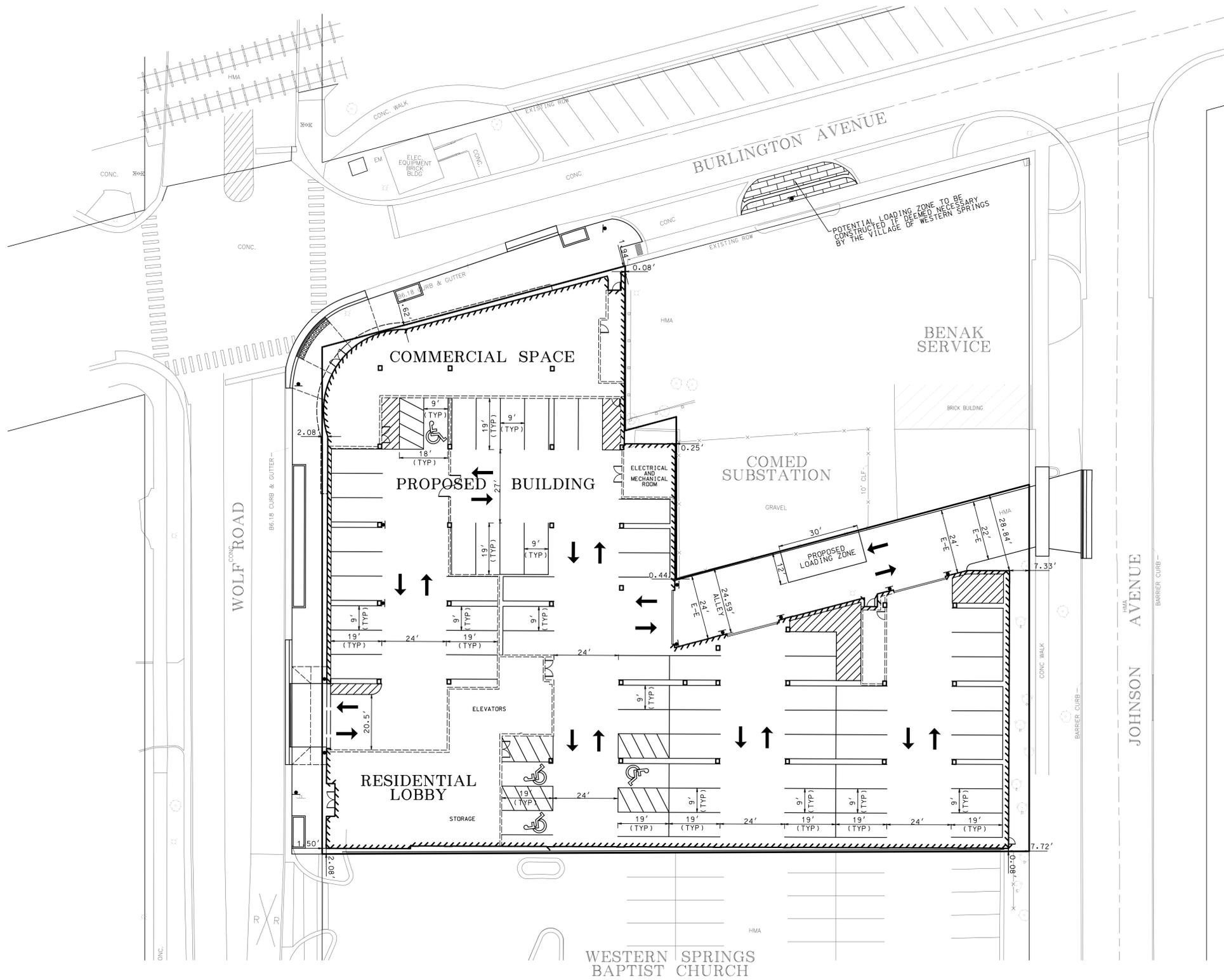
DATE	DESCRIPTION OF REVISION	BY
01-06-15	REVISED PER VILLAGE COMMENTS	RDB
10-24-14	REVISED PER VILLAGE COMMENTS	RDB
	DESIGN OF REVISION	BY

DESIGNED	RDB
DRAWN	WHM
APPROVED	TKB
DATE	07-25-14
SCALE	1" = 20'

**UTILITY AND PAVING PLAN  
 FOXFORD STATION  
 WESTERN SPRINGS, ILLINOIS**

SHEET  
**6 OF 12**  
 PROJECT NUMBER: 2222  
 © MACKIE CONSULTANTS LLC, 2014  
 ILLINOIS FIRM LICENSE 184-002694





SITE INFORMATION	
TOTAL SITE AREA =	0.949 ACRES
TOTAL BUILDING AREA =	0.828 ACRES
BUILDING COVERAGE =	87.2%
RESIDENTIAL PARKING =	51 SPOTS (3 HANDICAP)
COMMERCIAL PARKING =	14 SPOTS (1 HANDICAP)
TOTAL PARKING PROVIDED =	65 SPOTS (4 HANDICAP)

1/7/2015 11:24:34 AM M:\2222\Engineering\Projects\Building\overall-site.plt

**Mackie Consultants, LLC**  
 9575 W. Higgins Road, Suite 500  
 Rosemont, IL 60018  
 (847)696-1400  
 www.mackieconsult.com

CLIENT: **FOXFORD STATION, LLC**  
 12 SALT CREEK LANE, SUITE 400  
 HINSDALE, ILLINOIS 60521  
 PH: 630-887-1705 FX: 630-887-1749

DATE	DESCRIPTION OF REVISION	BY
01-06-15	REVISED PER VILLAGE COMMENTS	RDB
10-24-14	REVISED PER VILLAGE COMMENTS	RDB

DESIGNED	RDB
DRAWN	WHM
APPROVED	TKB
DATE	07-25-14
SCALE	1" = 20'

**OVERALL SITE PLAN  
 FOXFORD STATION  
 WESTERN SPRINGS, ILLINOIS**

SHEET  
**1** OF **1**  
 PROJECT NUMBER: 2222  
 © MACKIE CONSULTANTS, LLC, 2014  
 ILLINOIS FIRM LICENSE 184-002694

